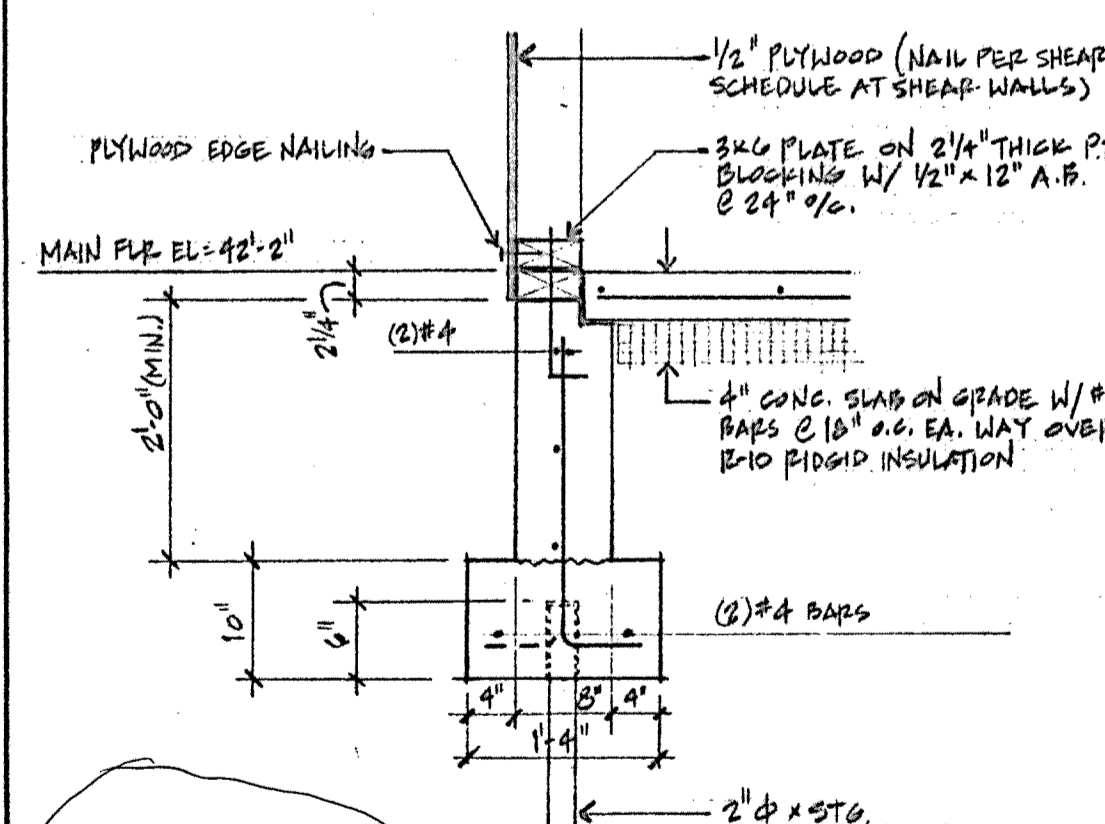
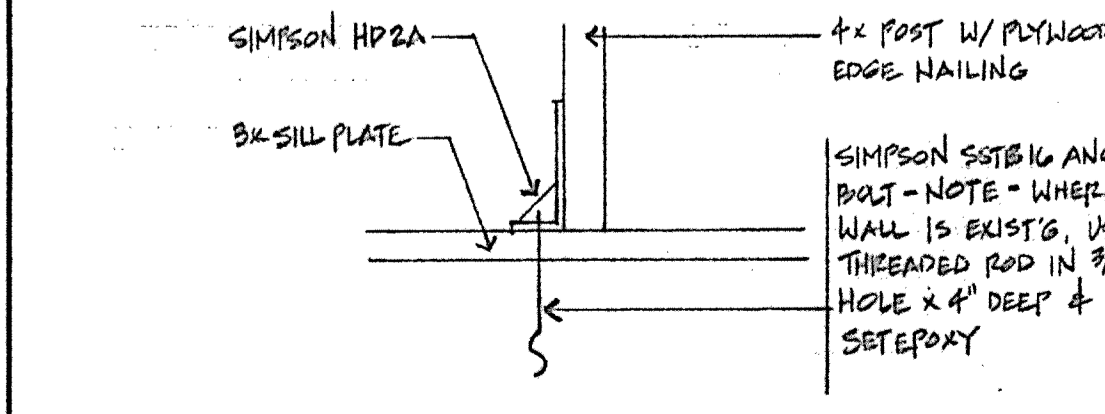


WALL SECTION AT ENTRY COLUMN
SCALE: 3/4" = 1'-0"

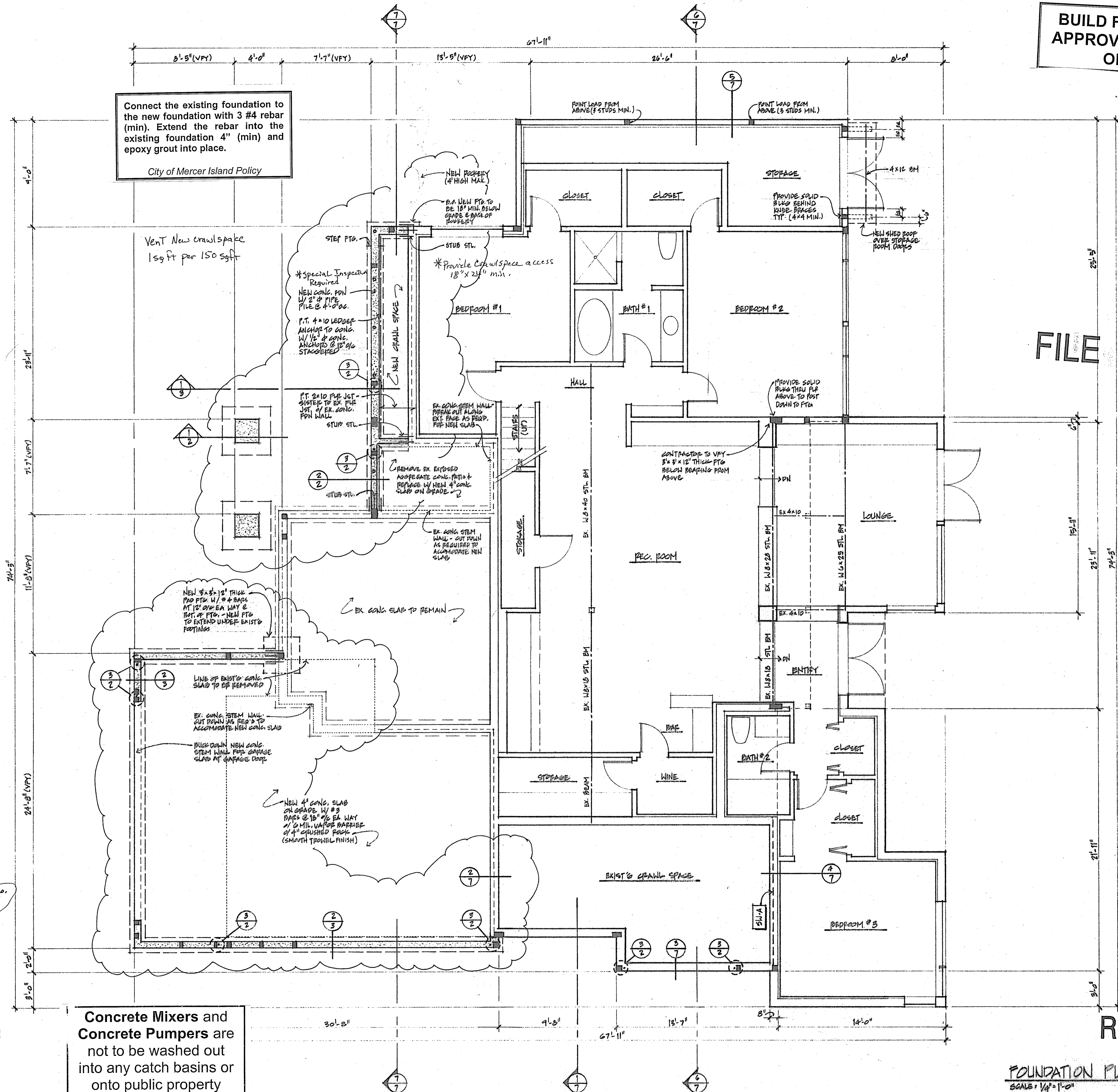


Special Inspection PIPE PILING
ALL PIPE PILING TO BE 2" DIAMETER EXTRA STRONG PIPE, CONFORMING TO ASTM-A152. PILING TO BE DRIVEN TO REFUSAL USING AN 80-110 POUND JACKHAMMER. REFUSAL SHALL BE WHEN 1" OF LESS PENETRATION OCCURS AFTER ONE MINUTE OF CONTINUOUS DRIVING. CAPACITY AT REFUSAL SHALL BE 4500 POUNDS.

FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



HOLDOWN DETAIL
SCALE: 3/4" = 1'-0"



Connect the existing foundation to the new foundation with 3 #4 rebar (min). Extend the rebar into the existing foundation 4" (min) and epoxy grout into place.
City of Mercer Island Policy

Concrete Mixers and Concrete Pumpers are not to be washed out into any catch basins or onto public property

BUILD FROM THE APPROVED PLANS ONLY

FILE COPY

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City of Mercer Island
Development Services

REVISIONS

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

rev: _____
 dwn by: MEL
 date: 1 MAY 2001

5652 EAST MERCER WAY
 MERCER ISLAND, WA 98040

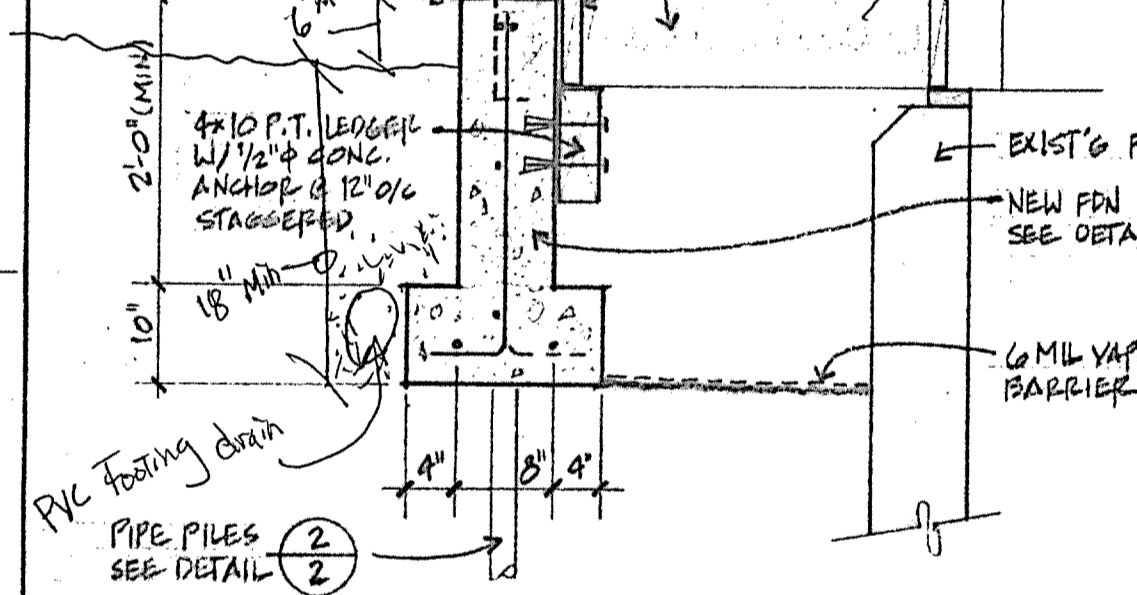
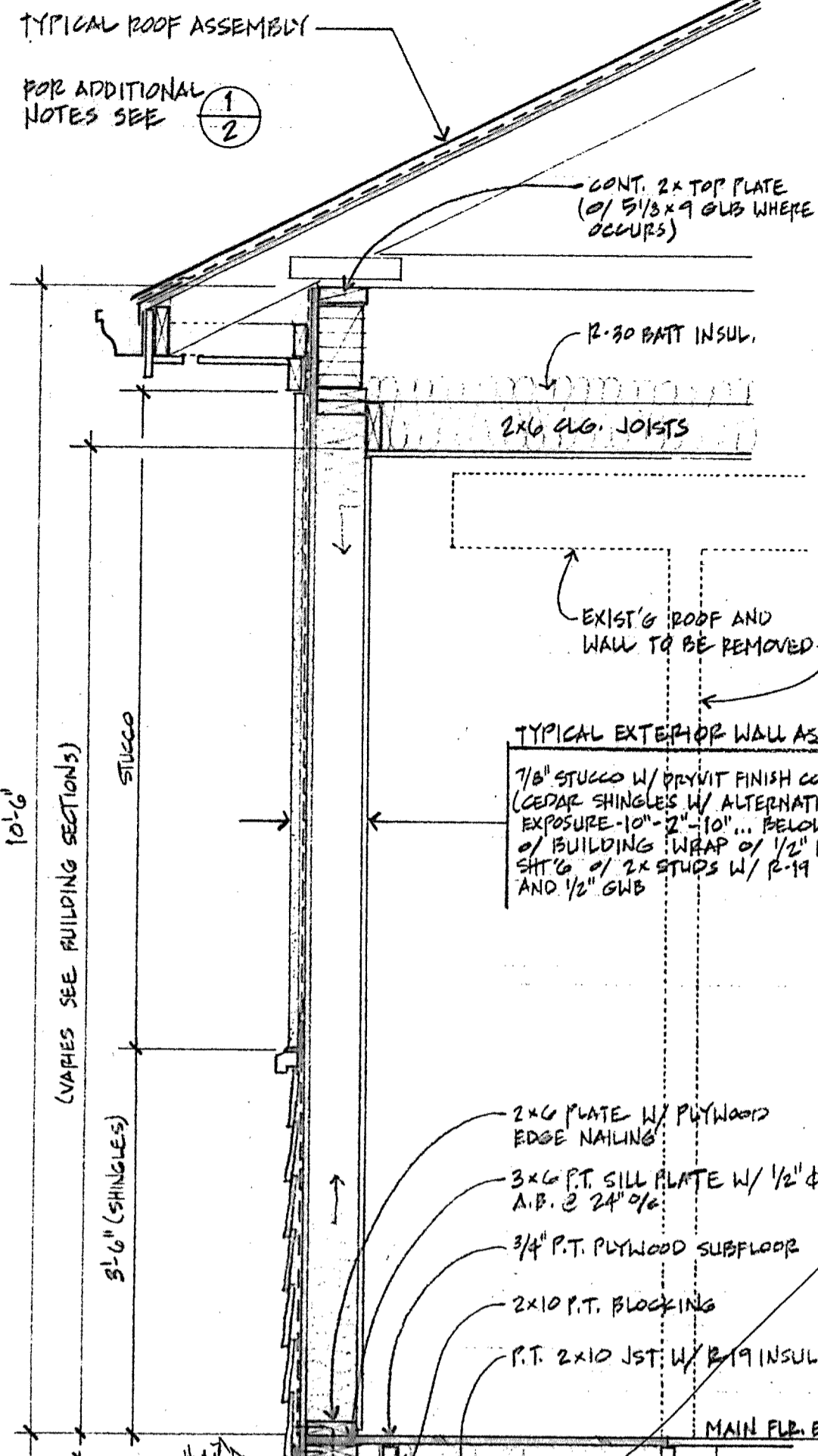
RESIDENCE REMODEL AND ADDITION FOR
 LORY AND LINDA LYBECK

FOUNDATION PLAN / LOWER FLOOR PLAN

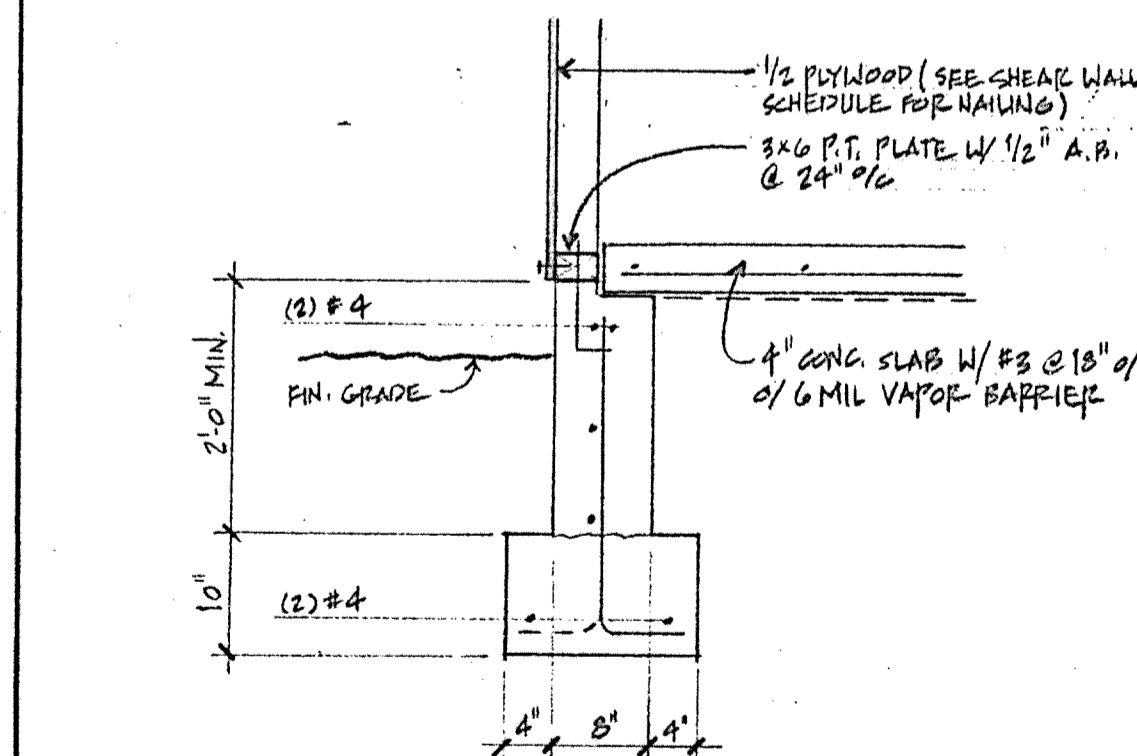
Peter D. Swindley
 Architects and Interiors
 2223 112th Ave. NE, Suite #100, Bellevue WA 98004 (425) 455-9358

01/05-007

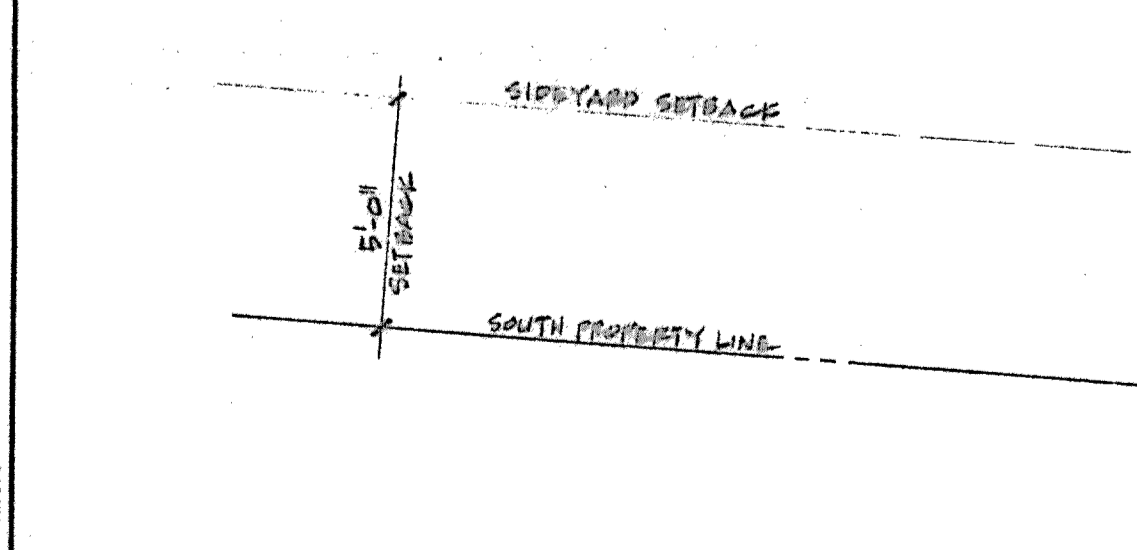
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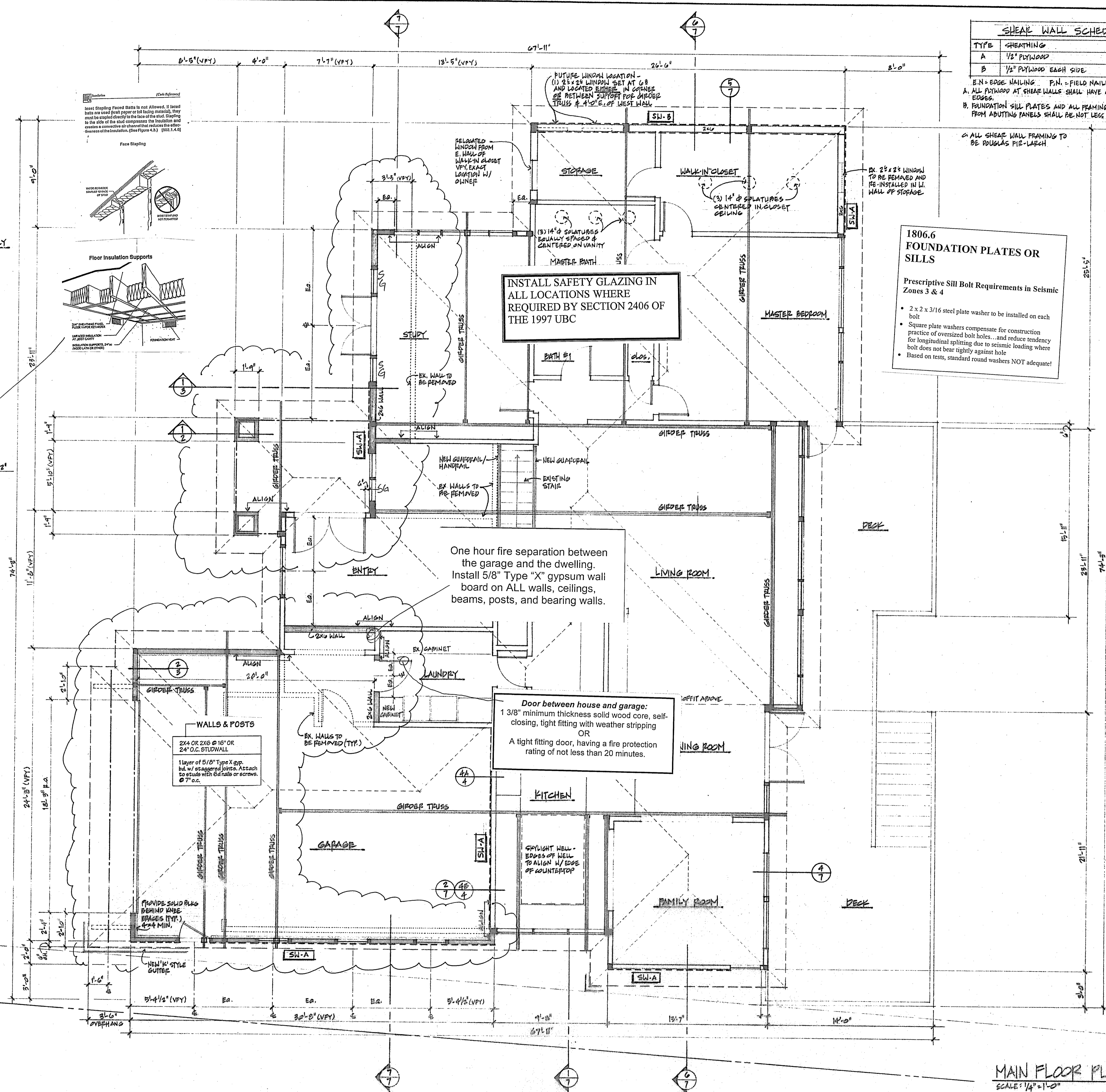
WALL SECTION AT STUDY
 SCALE 3/4" = 1'-0"



FOUNDATION DETAIL
 SCALE 1/4" = 1'-0"



MAIN FLOOR PLAN
 SCALE 1/4" = 1'-0"



SHEAR WALL SCHEDULE		
TYPE	SHEATHING	NAILING
A	1/2" PLYWOOD	EN: 10d @ 4" F.N. 10d @ 12"
B	1/2" PLYWOOD EACH SIDE	EN: 10d @ 6" F.N. 6d @ 12"

EN = EDGE NAILING F.N. = FIELD NAILING
 A. ALL PLYWOOD AT SHEAR WALLS SHALL HAVE CONTINUOUS BLOCKING & UNSUPPORTED EDGES.
 B. FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS TO RECEIVE EDGE NAILING FROM ADJUTING PANELS SHALL BE NOT LESS THAN 3" NOMINAL UNLESS NOTE OTHERWISE

LATERAL DESIGN
 ALL COMPONENTS OF THE LATERAL DESIGN INCLUDING NAILING, HOLD-DOWNS, STRAPS ETC. ARE TO HAVE A SPECIAL INSPECTION (SEE "STRUCTURAL OBSERVATION" IN SEC. 220, 1997 UBC) BY THE ENGINEER OF RECORD OR A PREVIOUSLY APPROVED ALTERNATE. SUBMIT A WRITTEN REPORT PER SEC. 1702 OF THE 1997 UBC TO THE CITY INSPECTOR PRIOR TO CALLING FOR THE FRAMING INSPECTION.

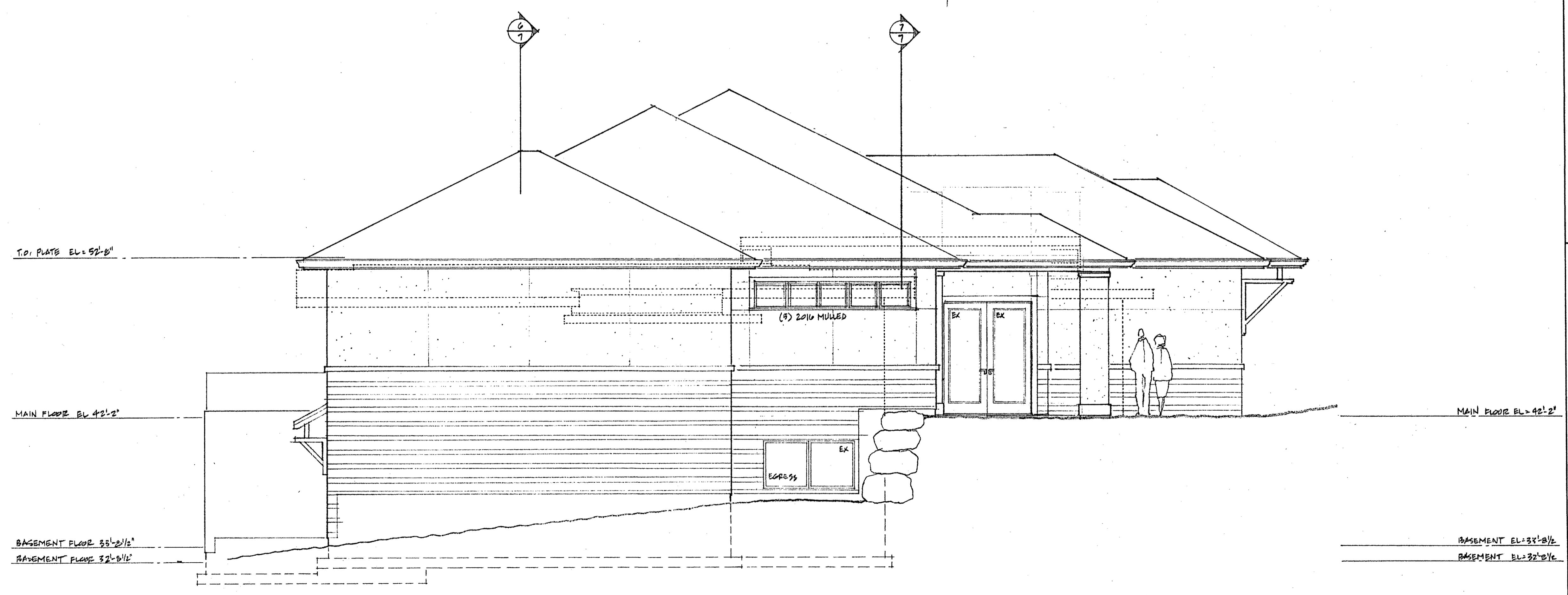
RESIDENCE REMODEL AND ADDITION FOR
 LORY AND LINDA LYBECK
 5652 EAST MERCER WA
 MERCER ISLAND, WA 98

Peter D. Swindley
 Architects and Interiors
 2223 112th Ave. NE, Suite #100 Bellevue WA 98004 (425) 455-9358

Handwritten signature and initials



EAST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

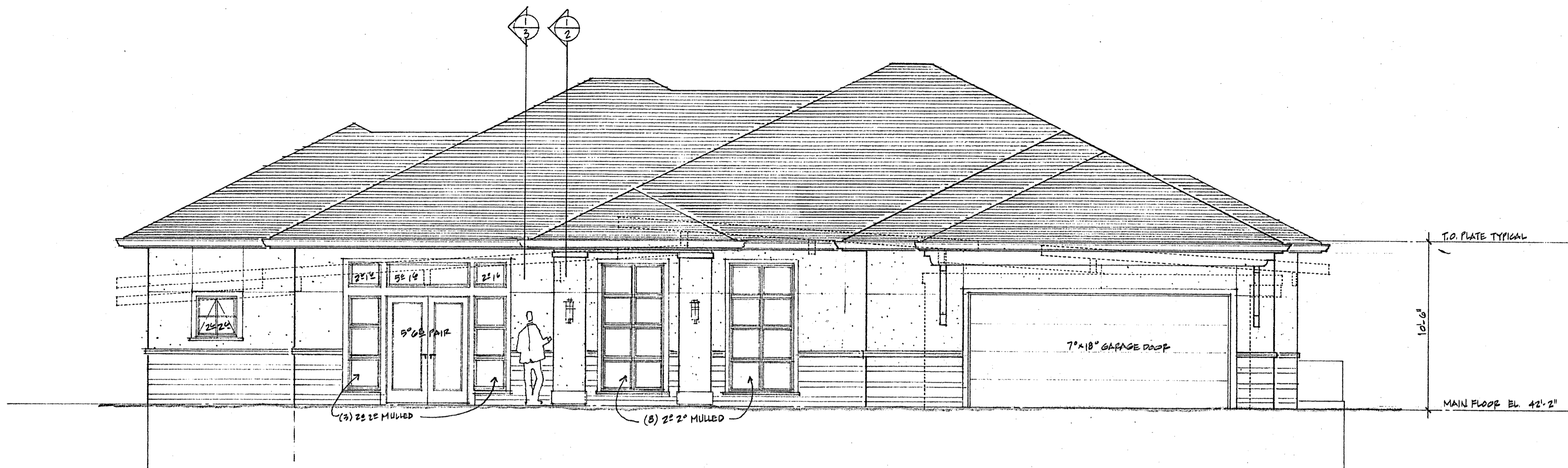
rev:
 drn by: MEK
 date: 1 MAY 2001

5652 EAST MERCER WAY
 MERCER ISLAND, WA 98040

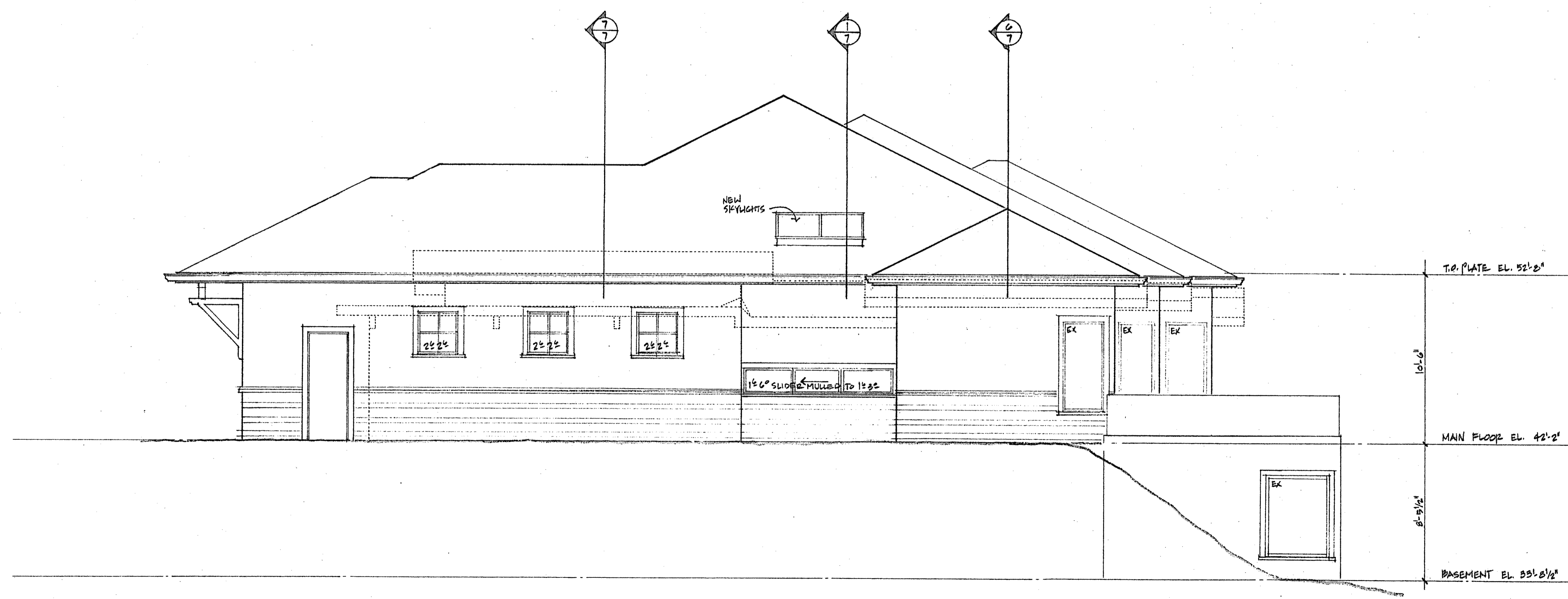
RESIDENCE REMODEL AND ADDITION FOR
 LORY AND LINDA LYBECK

EAST AND NORTH EXTERIOR ELEVATIONS

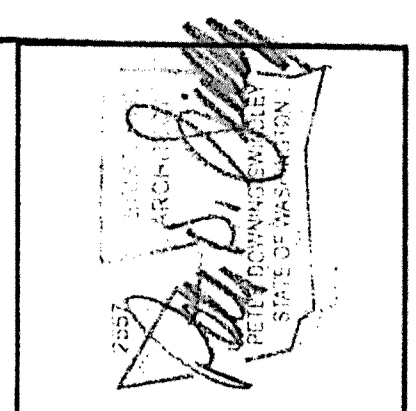
Peter D. Swindley
 Architects and Interiors
 2223 112th Ave. NE, Suite #100 Bellevue WA, 98004 (425) 455-9358



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

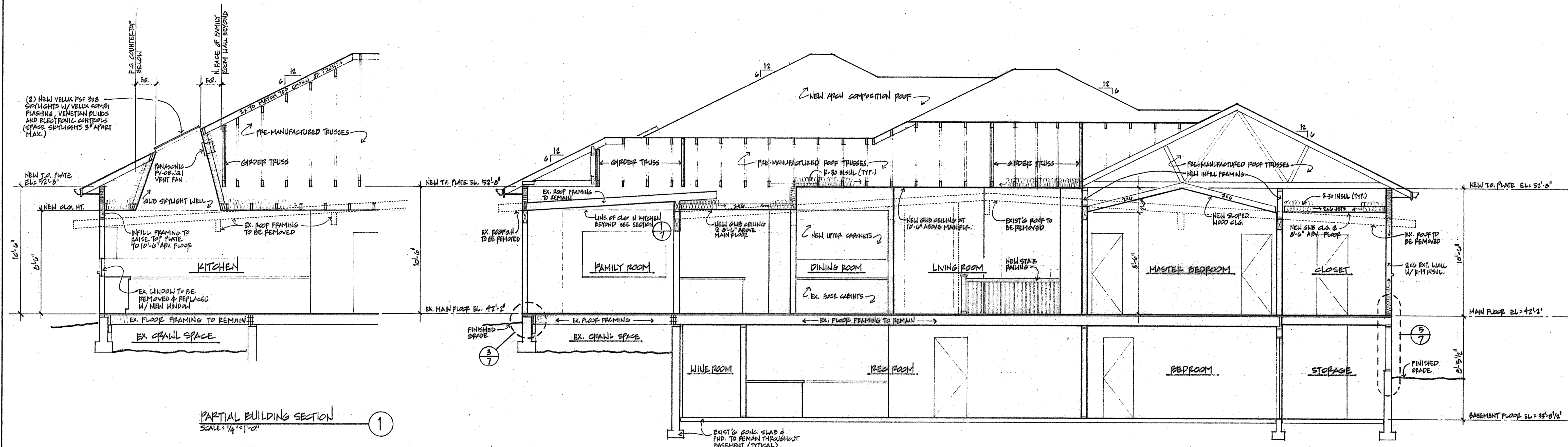


rev:
 dir by: MEK
 date: 1 MAY 2001

RESIDENCE REMODEL AND ADDITION FOR
 LORY AND LINDA LYBECK
 5652 EAST MERCER WAY
 MERCER ISLAND, WA 98040

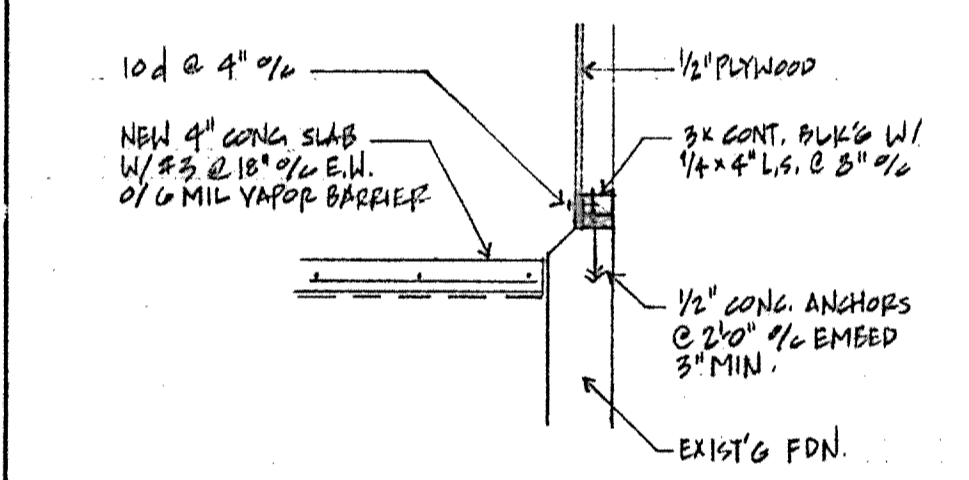
WEST AND SOUTH EXTERIOR ELEVATIONS

Peter D. Swindley
 Architects and Interiors
 2223 112th Ave. NE, Suite #100, Bellevue WA 98004 (425) 455-9358



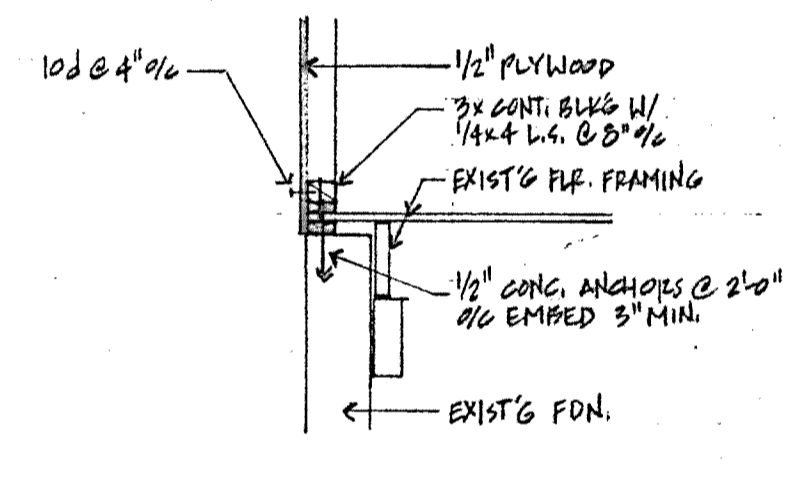
PARTIAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

1



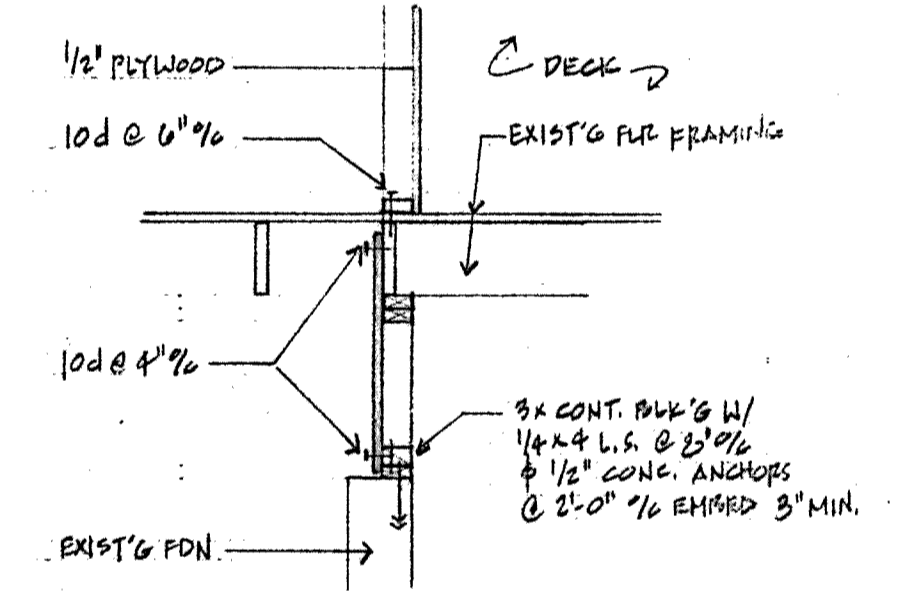
FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"

2



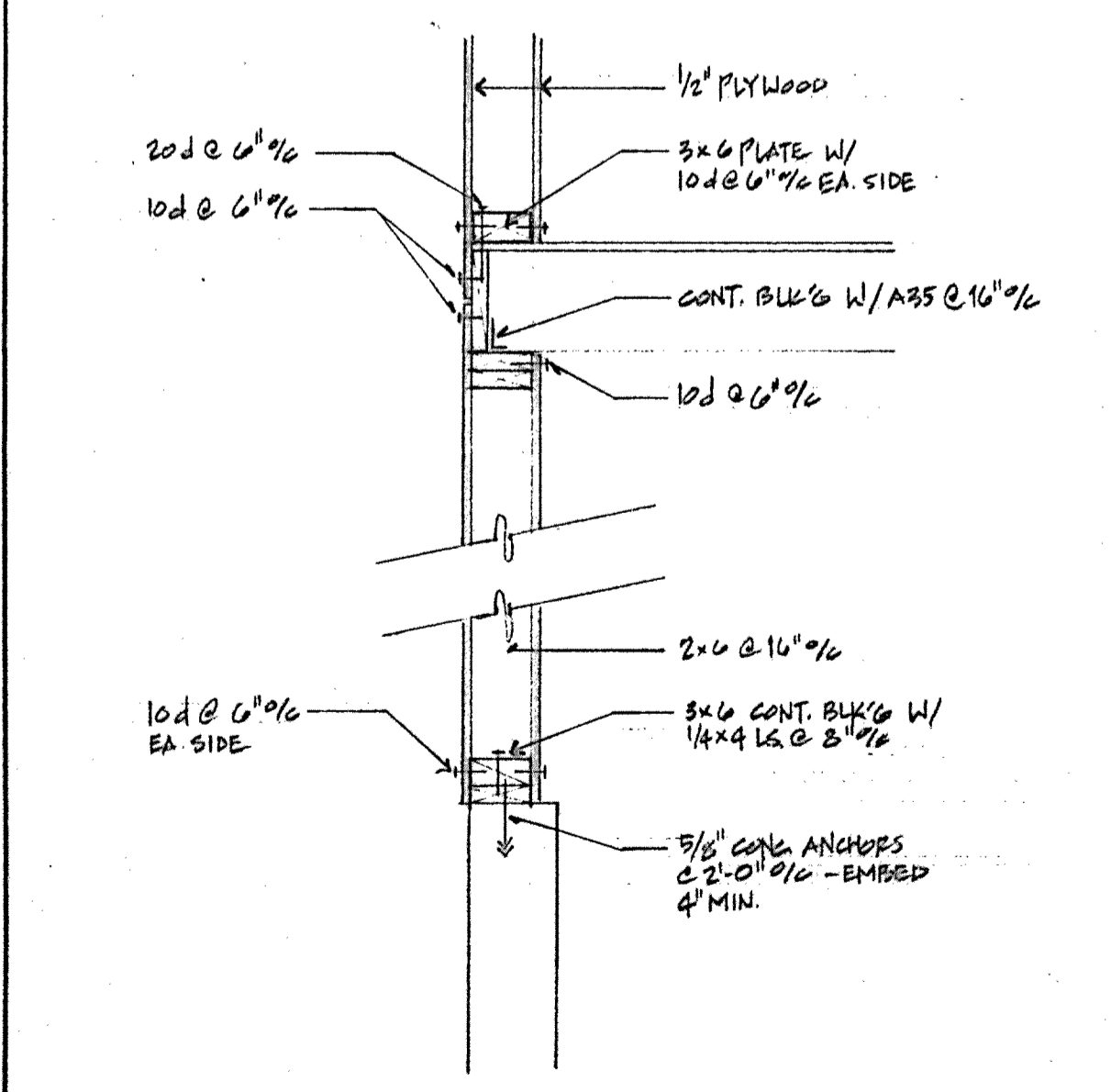
FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"

3



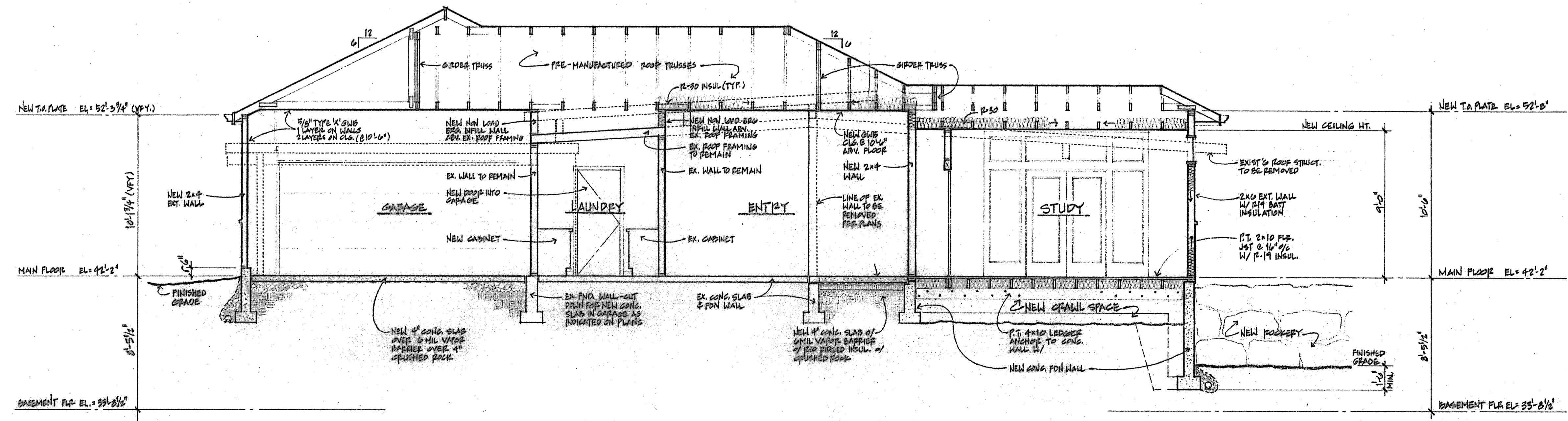
FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"

4



SHEAR WALL DETAIL
SCALE: 3/4" = 1'-0"

5

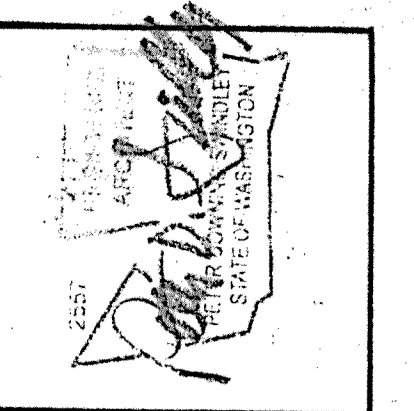


BUILDING SECTION
SCALE: 1/4" = 1'-0"

6

BUILDING SECTION
SCALE: 1/4" = 1'-0"

7

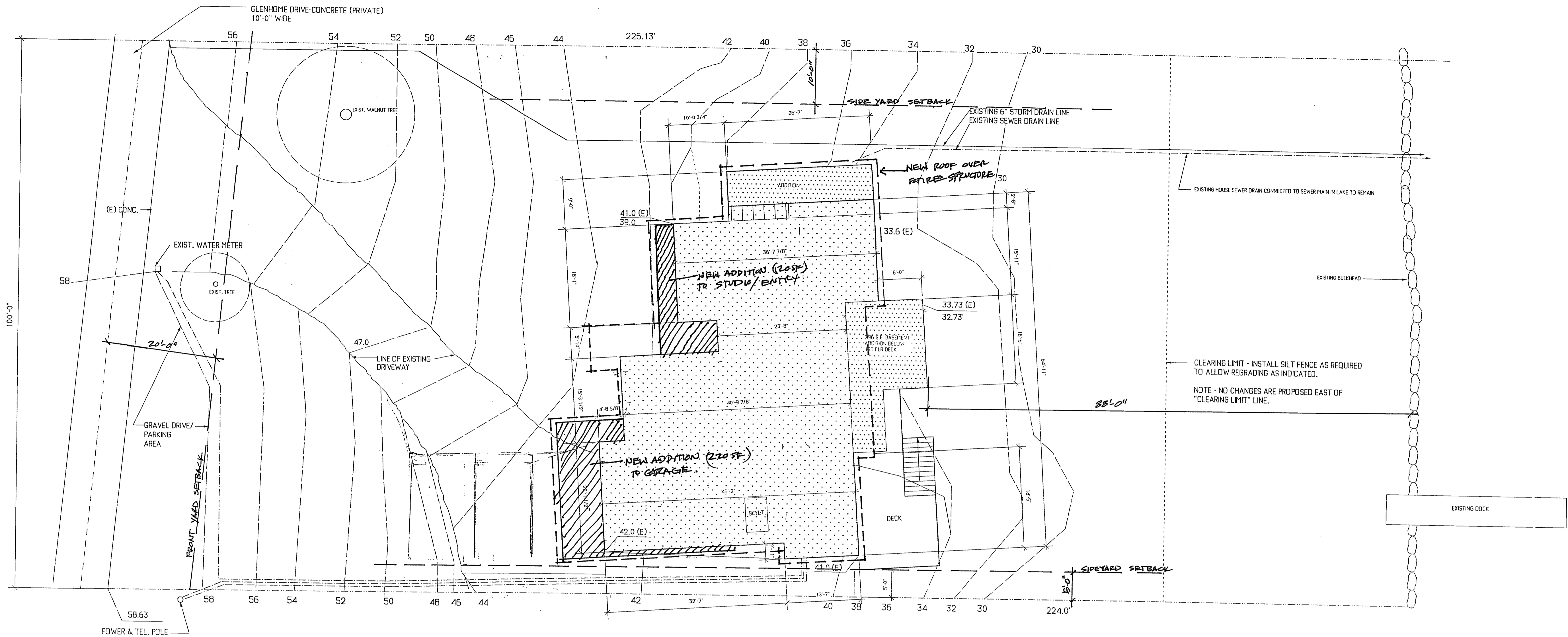


rev: MEK
date: 1 MAY 2001

5652 EAST MERCER WAY
MERCER ISLAND, WA 98040

RESIDENCE REMODEL AND ADDITION FOR
LORY AND LINDA LYBECK
BUILDING SECTIONS

Peter D. Swindley
Architects and Interiors
2223 112th Ave. NE, Suite #100, Bellevue WA, 98004 (425) 455-9358



SITE PLAN
1" = 10'-0"

PROJECT DATA

OWNER: LORY & LINDA LYBECK TAX PARCEL #: 192405-9078-04
LEGAL DESCRIPTION:
 THE EAST 10 FEET OF TRACT 113-A MEASURED AT RIGHT ANGLES TO THE EAST LINE THEREOF; AND THE WEST 30 FEET OF TRACT 114-A MEASURED AT RIGHT ANGLES TO THE WEST LINE THEREOF; ALL IN SEACOMA BEACH DIVISION NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 15 OF PLATS, PAGE 70, IN KING COUNTY, WASHINGTON.

SYMBOLS

- ELEVATION / SECTION INDICATOR
- DETAIL INDICATOR
- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- DOOR SYMBOL
- WINDOW SYMBOL

LEGEND

- PERIMETER LINE OF EXISTING STRUCTURE
- DOWNSPOUT
- PERFORATED FDN DRAIN
- TIGHT-LINE DRAIN
- SUBGRADE UTILITY LINE
- EXISTING GRADE LINE TO REMAIN
- EXISTING GRADE LINE TO BE ALTERED
- NEW GRADE LINE

DRAINAGE NOTES

1. STABILIZATION OF DENUDED AREAS FROM OCTOBER 1 THROUGH APRIL 30, NO SOILS SHALL REMAIN EXPOSED FOR MORE THAN 2 DAYS. FROM MAY 1 TO SEPTEMBER 30, NO SOILS SHALL REMAIN EXPOSED FOR MORE THAN 7 DAYS. DISTURBED GROUND WHICH REMAINS EXPOSED BEYOND THESE PERIODS SHALL BE COVERED AS FOLLOWS:
 SLOPES > 3H/1V: COVERED WITH JUTE MAT
 ALL OTHER SLOPES: COVERED WITH STRAW.
2. STORM DRAIN INLET PROTECTION
 PLACE FILTER FABRIC UNDER CATCH BASIN GRATES DURING CONSTRUCTION.
3. PIPE MATERIALS
 SCHEDULE 40 PVC, 4" DIAMETER, UNLESS NOTED OTHERWISE.

**ANNE
MERRILL
SCHWAB**

ARCHITECT

5806
EAST MERCER WAY
MERCER ISLAND
WASHINGTON
98040

TEL
(206) 232-3837

FAX
(206) 275-0191

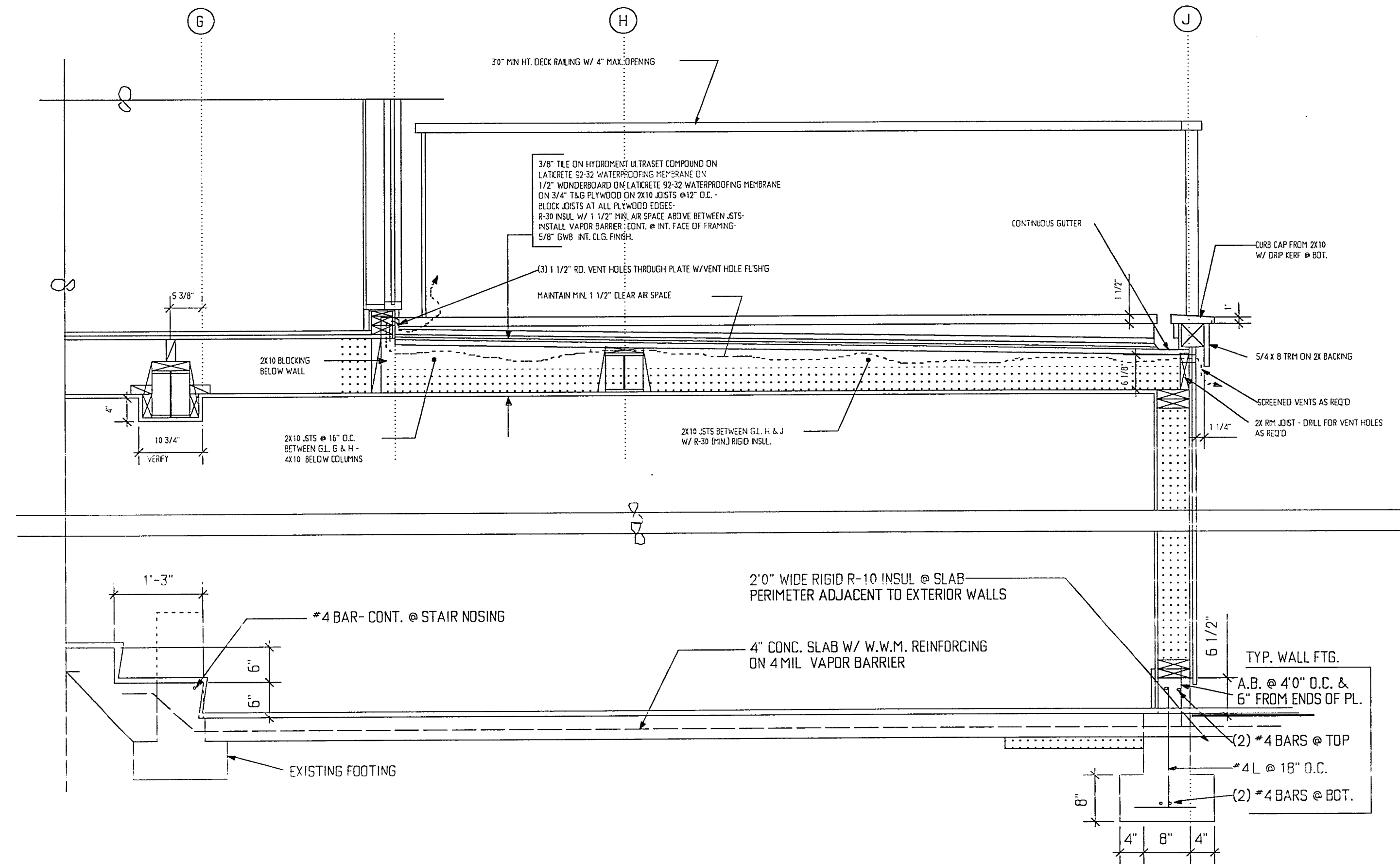
LYBECK REMODEL / ADDITIONS
5652 East Mercer Way
Mercer Island, Washington

SCALE: 1" = 10'-0"
DATE: 1/24/01
PROJECT #: 00.17
REVISIONS

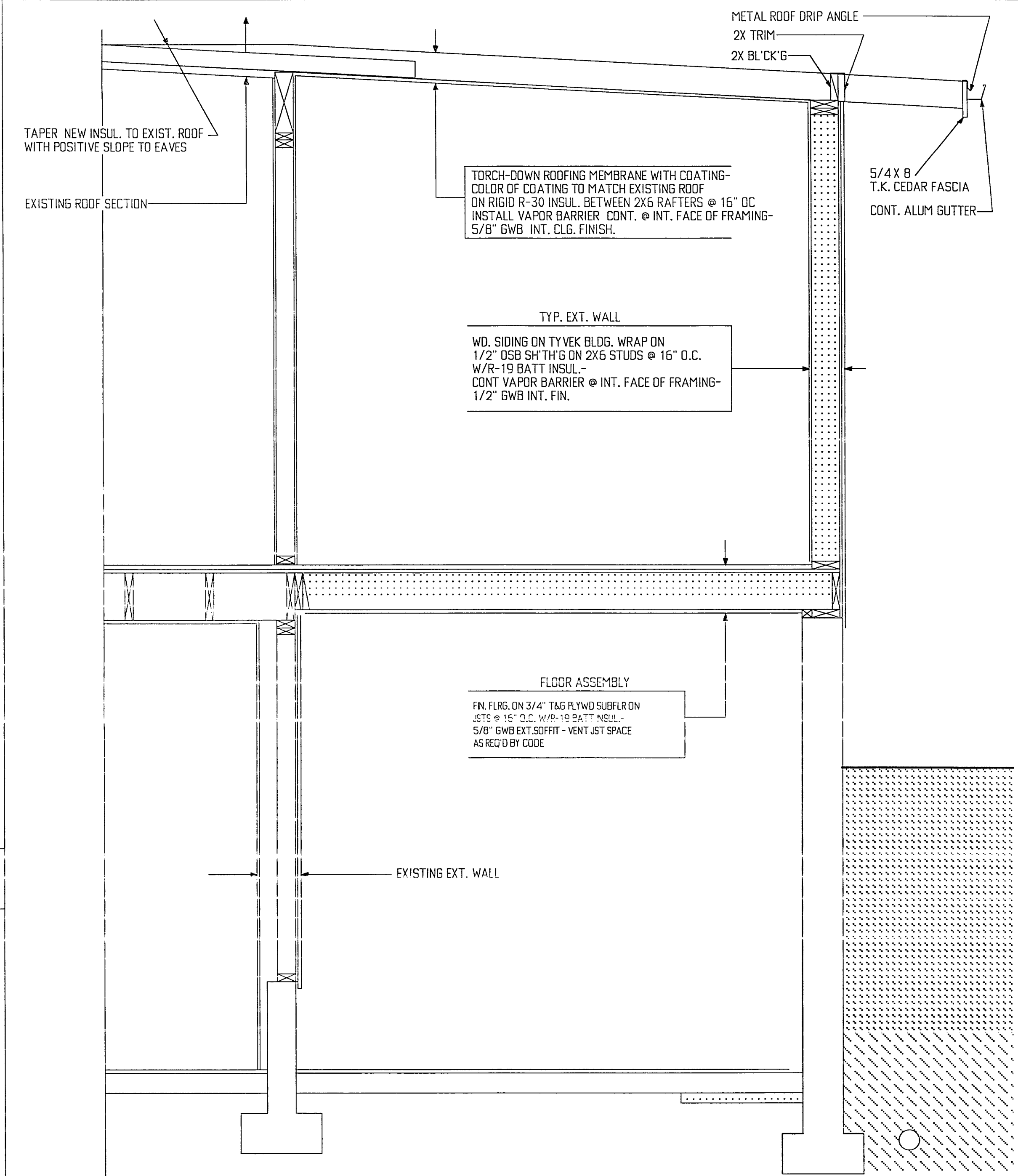
NO.	DESCRIPTION

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Anne Merrill Schwab, Architect
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without prior permission of
Anne Merrill Schwab.

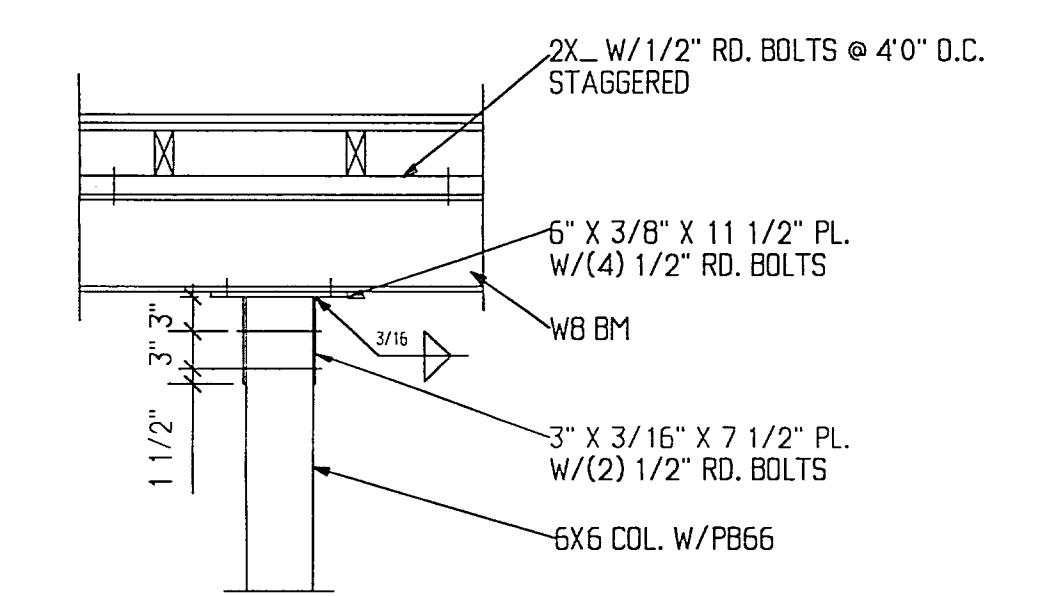
A 1



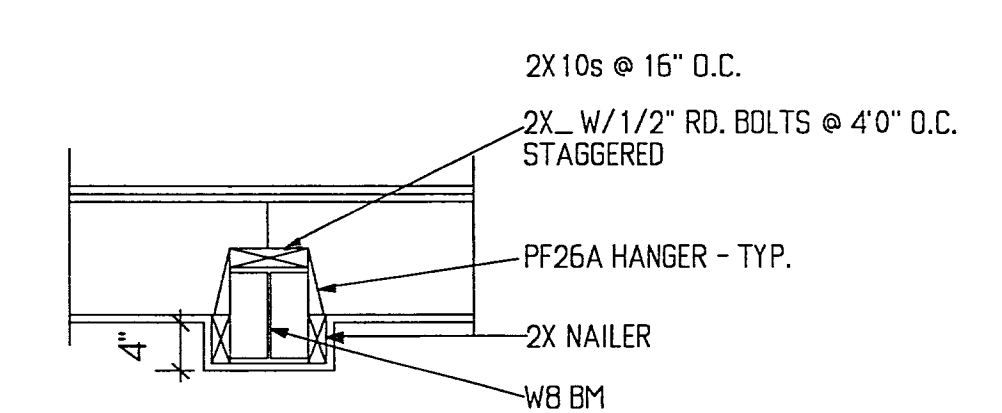
1 SECTION between G.L. 3 & 4 LOOKING NORTH
3/4" = 1'-0"



2 SECTION between G.L. F & G LOOKING WEST
3/4" = 1'-0"

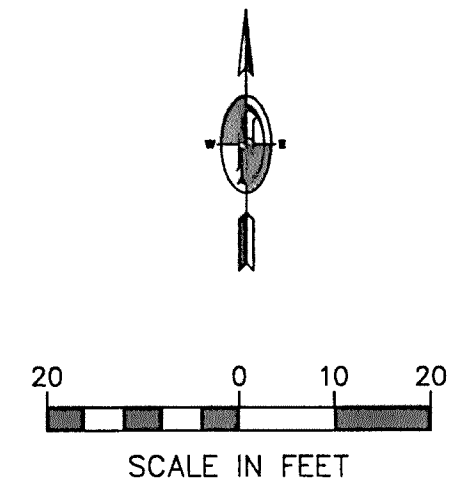
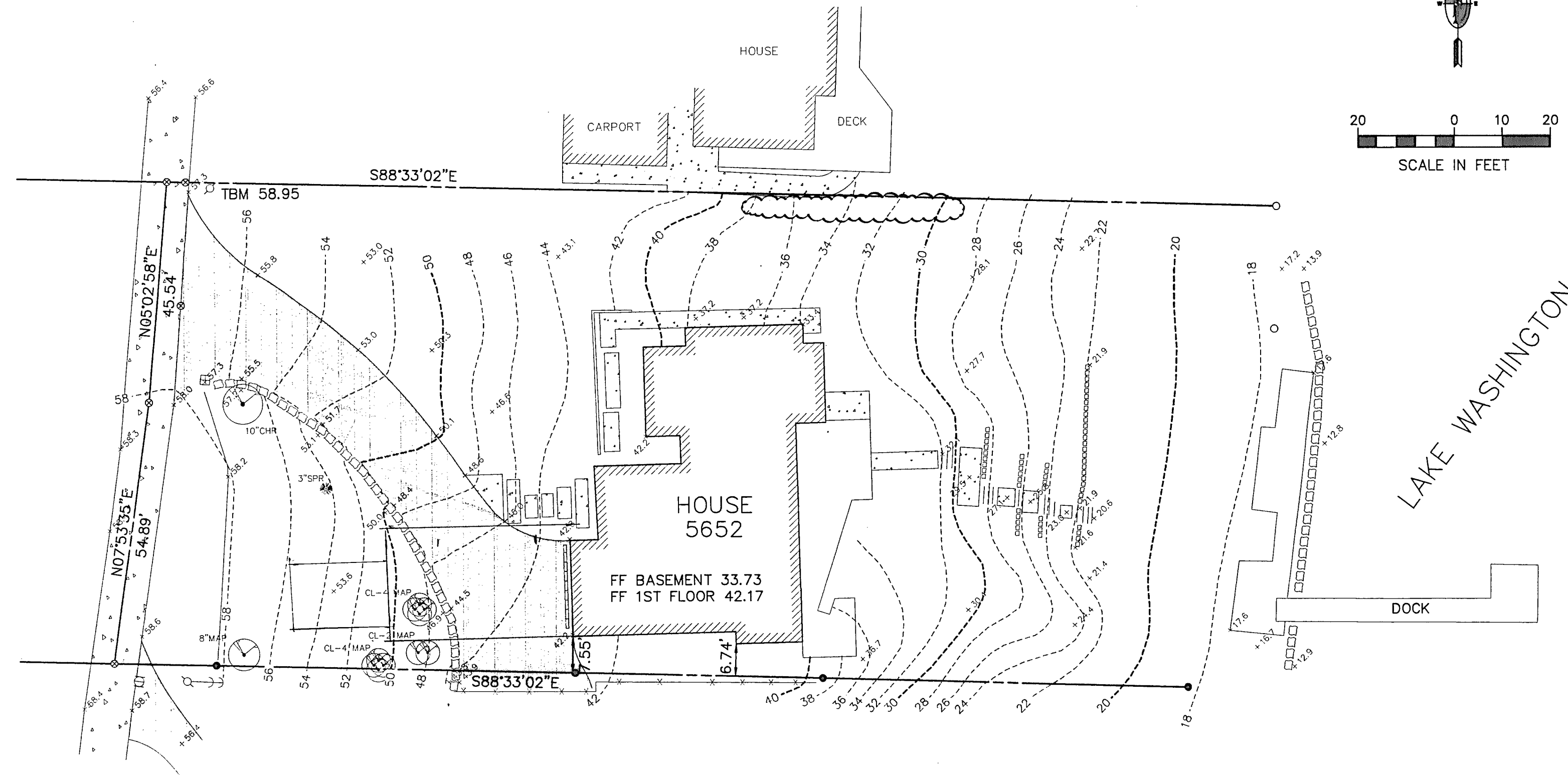


3 TYPICAL COLUMN TOP
3/4" = 1'-0"



4 TYPICAL BEAM SECTION
3/4" = 1'-0"

GOVERNMENT LOT 3, SECTION 19, T. 24 N., R. 5 E. W.M.



LEGAL DESCRIPTION

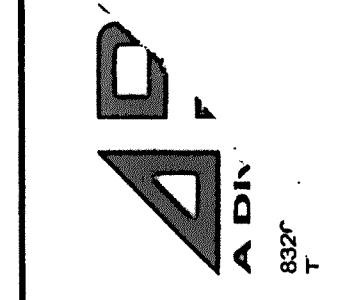
THAT PORTION OF GOVERNMENT LOT 3, SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., KING COUNTY, WASHINGTON, LYING BETWEEN LINES PARALLEL WITH AND 2,020 FEET NORTH OF AND 2120 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 19, AND LYING EAST OF EAST MERCER WAY AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF LOT B OF MERCER ISLAND SHORT PLAT NO. MI-83-02-01, RECORDED IN BOOK 35 OF SURVEYS, PAGE 62, UNDER RECORDING NUMBER 8303049001, RECORDS OF KING COUNTY, WASHINGTON; THENCE S88°33'02"E ALONG THE SOUTH LINE OF SAID LOT B, SAID SOUTH LINE BEING PARALLEL WITH AND 2,020 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 19, A DISTANCE OF 208.12 FEET TO A TACK SET IN LEAD ON THE AS-BUILT CENTERLINE OF A CONCRETE ACCESS ROAD, AND THE TRUE POINT OF BEGINNING; THENCE NORTH ALONG SAID CENTERLINE A DISTANCE OF 54.89 FEET TO A TACK SET IN LEAD ON THE NORTH LINE OF SAID LOT B, SAID NORTH LINE ALSO BEING PARALLEL WITH AND 2,120 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 19; THENCE S88°33'02"E ALONG SAID PARALLEL LINE TO THE WESTERLY SHORELINE OF LAKE WASHINGTON; THENCE SOUTHERLY ALONG SAID WESTERLY SHORELINE TO A LINE BEING PARALLEL WITH AND 2,020 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 19; THENCE N88°33'02"W ALONG SAID SOUTH LINE TO THE TRUE POINT OF BEGINNING, TOGETHER WITH SECOND CLASS SHORELANDS ADJACENT.

LEGEND

EXISTING	DESCRIPTION
—	PROPERTY LINE
○	REBAR
⊙	PK NAIL
⊕	WATER METER
—D—	STORM DRAIN LINE
⊘	UTILITY POLE
⊙	GUY ANCHOR
⊕	GAS VALVE
☼	CONIFEROUS TREE
⊙	DECIDUOUS TREE
▭	ASPHALT PAVEMENT
---	GROUND CONTOUR

LEGAL DESCRIPTION

1) ALL TOPOGRAPHIC INFORMATION SHOWN HEREON EXCEPT FOR THE LOCATION OF THE HOUSE, ASSOCIATED ELEVATIONS, PROPERTY LINE TIES AND THE FENCE TO THE SOUTH OF THE HOUSE WERE DIGITIZED FROM A TOPOGRAPHIC SURVEY BY TRIAD AND ASSOCIATES DATED APRIL 17, 1987 JOB NO 87-108.
 2) THE BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM THE MERCER ISLAND LOT LINE REVISION NO. MI-90-05-08(G-5) RECORDED UNDER KING COUNTY AUDITORS FILE NUMBER 9007319013. NO BOUNDARY SURVEY WAS PERFORMED TO PREPARE THIS MAP.



PREPARED FOR
LYBECK
 5652 E. MERCER WAY
 MERCER ISLAND, WA 98040

TOPOGRAPHIC SURVEY
LYBECK RESIDENCE
 MERCER ISLAND, WA

SCALE:	1"=20'
F.B.:	203
W.O.:	S12081
FILE NO.:	104-92
SHEET	
1	OF 1

FILED: KING COUNTY AUDITORS' OFFICE, 940
 CREATED: MAY 24 1999 05:27:37
 UPDATED: MAY 28 1999 05:28:10
 PLOTTED: MAY 28 1999 05:15:37 (486)
 © BDL 1999

Site Development Information

Worksheet for single family residential development

Ref 0011-079

Permit No. ~~0101~~ 0101276 Address: 5652 E. Mercer Way Date: 5/1/01

Owner Name: Lory Linda Lybeck Phone No. 206-232-8531

(I hereby state that the information provided by me is true and correct to the best of my knowledge)

Name of Individual who Completed this Worksheet Michael Krause

BUILDING AREA—All building areas must be identified and labeled on the site plan. Please distinguish all new construction from existing areas on both your drawing and in the calculations you complete at right.

Basement exclusion calculation must be provided.

Will you be excluding a portion of the basement floor area?

Yes No

If yes, you must provide basement floor area calculations that show how you determined what portion of the basement will be excluded.

BUILDING AREA

	Existing Area	Removed Area	New/ Addition Area	Total
Upper Floor	Sq. Ft.	Sq. Ft.	Sq. Ft.	Sq. Ft.
Main Floor	<u>1875</u> Sq. Ft.	Sq. Ft.	<u>120</u> Sq. Ft.	<u>2015</u> Sq. Ft.
Gross Basement Area	<u>1991</u> Sq. Ft.	Sq. Ft.	Sq. Ft.	<u>1991</u> Sq. Ft.
Basement Area Excluded ()	Sq. Ft.	() Sq. Ft.	() Sq. Ft.	() Sq. Ft.
Garage/Carport	<u>416</u> Sq. Ft.	Sq. Ft.	<u>220</u> Sq. Ft.	<u>636</u> Sq. Ft.
Total Floor Area	<u>4302</u> Sq. Ft.	Sq. Ft.	<u>340</u> Sq. Ft.	<u>4642</u> Sq. Ft.
Accessory Bldgs.	— Sq. Ft.	Sq. Ft.	Sq. Ft.	— Sq. Ft.
NET TOTAL	<u>4302</u> Sq. Ft.	Sq. Ft.	<u>340</u> Sq. Ft.	<u>4642</u> Sq. Ft.

DEVELOPMENT INFORMATION

LOT SLOPE—According to Mercer Island's Critical Areas regulations, lot slope is a measurement by which the average slope of the lot is calculated as a percentage. The lowest elevation of the lot is subtracted from the highest elevation, and the resulting number is divided by the shortest horizontal distance between these two points. The resulting product is multiplied by 100.

LOT INFORMATION

LOT SLOPE

Highest Elevation Point of Lot _____ feet
 Lowest Elevation Point of Lot _____ feet
 Elevation Difference _____ feet
 Horizontal Difference between High and Low Points _____ feet
 (Lot slope elevation difference divided by horizontal distance multiplied by 100)
 Lot Slope NO CHANGE %

GROSS FLOOR AREA—Measured from outside the exterior walls. Covered decks, exterior decks and below existing grade areas are excluded. The amount of living space, garages and other accessory buildings on a single family lot is limited to 45% of the net lot area. This includes all living space above existing grade. Please refer to Development Services Guidelines on single family construction for details.

GROSS FLOOR AREA

Net Lot Area
 (Lot area minus ingress/egress easement = net lot area) 29000 Sq. Ft.

Net Lot Area x 45% equals:

Allowed Gross Floor Area 10,800 Sq. Ft.
Proposed Gross Floor Area 4642 Sq. Ft.
Proposed % of Lot Area 19 %

LOT COVERAGE—On Mercer Island, the overall degree of lot slope governs total lot coverage. When calculating maximum allowable lot coverage, include all impervious surfaces, such as roof areas of primary and accessory buildings, impervious decks, patios, sidewalks, driveways and access easements.

The table below offers basic guidelines on lot slope and allowable lot coverage:

Lot Slope	Lot Coverage
Less than 15%	No more than 40%
15% - 30%	No more than 35%
31% - 50%	No more than 30%
Greater than 50%	No more than 20%

Note on lots without a designated building pad, impervious surfaces on critical slopes shall be limited to the following:

Slope:	Impervious Surfaces:
30% - 50%	30%
Greater than 50%	20%

A critical slope is an area of land where the slope is 30% or greater. It is determined by measuring the vertical rise over any 40 ft. horizontal distance.

Allowed Site Coverage ~~24000~~ 35 % of Lot

LOT COVERAGE

Gross Lot Area 24000 Sq. Ft.
 Main Structure Roof Area 3564 Sq. Ft.
 Accessory Building Roof Area — Sq. Ft.
 Impervious Deck, Patio, Walkway Area 1205 Sq. Ft.
 Driveway, Access Easements 1882 Sq. Ft.
 Total Existing Impervious Surface Area _____ Sq. Ft.
 Total Impervious Surface Area 6677 Sq. Ft.
 Net Increase in Imperv. Surf. Area _____ Sq. Ft.
 Proposed Lot Coverage 28 % of Lot
 (Coverage equals total area divided by the gross lot area multiplied by 100)
 Pervious Paver Area _____ Sq. Ft.

BUILDING HEIGHT—All building height measurements must be taken from existing grade. Existing grade refers to ground surface as it exists at the proposed building perimeter before grading or other alterations take place.

The base elevation is an average of existing grade elevations measured at 4 to 8 equally distributed corners of the building's exterior walls. The base elevation is used to determine the building's maximum allowable height.

Single family new construction and living space additions are limited to a height of 30 ft. above base elevation or 35 ft. on the downhill side of slope, provided it does not exceed the allowable 30 ft. above base elevation. Chimneys and other appendages may extend a maximum 5' above the height allowed for the main structure.

BUILDING HEIGHT

Corner Elevation	Corner Elevation
A. <u>Well below Required</u>	Ft.
B. <u>height limits</u>	Ft.
C. _____	Ft.
D. _____	Ft.

Sum of Building Corner Elevations _____ Ft.
 Sum divided by number of measured corners
 = base elevation _____ Ft.
 Allowable Building Height _____ Ft.
 Proposed Height _____ Ft.

This is intended as a worksheet and is not a substitute for the Mercer Island Development Regulations. Please consult the Mercer Island Unified Land Development Code.
 Prepared by: City of Mercer Island—Development Services Group
 9611 S.E. 36th Street, Mercer Island, Washington 98040
 (206) 236-5300

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MAY 01 2001

City of Mercer Island
 Development Services

April 2001